

DEVELOPMENT SUMMARY:	
<u>SITE SUMMARY:</u>	
TMS:	4054-11-65-6587, 4054-11-65-7410, 4054-11-65-8807, 4054-11-75-1713, 4054-11-75-2837, 4054-11-75-1929, 4054-11-66-9099
ZONING:	RM-4
SITE AREA:	11.67 ACRES
TOTAL DISTURBED AREA:	11.67 ACRES
BUILDING HEIGHT MAXIMUM:	40 FT
BUILDING SETBACK:	
FRONT:	20 FT
SIDE:	15 FT
REAR:	25 FT
LANDSCAPE SETBACK:	15 FT
ADJACENT TO PD OR CD ZONING:	20 FT
ADJACENT TO RM ZONING:	10 FT
<u>PROPOSED LAND USES & DENSITIES:</u>	
MULTIFAMILY RESIDENTIAL	168 UNITS
1 BEDROOM	34 UNITS
2 BEDROOM	100 UNITS
3 BEDROOM	34 UNITS
<u>OPEN SPACE:</u>	
MINIMUM REQUIRED OPEN SPACE:	2.92 ACRES (25% OF SITE AREA)
PROPOSED OPEN SPACE:	7.20 ACRES
<u>PARKING SUMMARY:</u>	
CITY OF CLEMON REQUIRED PARKING: WITH 10% REDUCTION FROM CLEMON:	332 SPACES (TOTAL) 332 SPACES (TOTAL) SPACES (1 UNIT) SPACES (2 UNIT) SPACES (3 UNIT)
1 BEDROOM	
2 BEDROOM	
3 BEDROOM	
SC HOUSING REQUIRED PARKING:	252 SPACES (TOTAL) SPACES (1 UNIT) SPACES (1.5 UNIT) SPACES (2 UNIT)
1 BEDROOM	
2 BEDROOM	
3 BEDROOM	
PROPOSED PARKING:	332 SPACES (TOTAL)
STANDARD	217 SPACES
COMPACT (25%)	73 SPACES
ADA	12 SPACES

PRELIMINARY: NOT FOR CONSTRUCTION

Plotted By: E:\Projects\016914000 - Mercy Housing Clemson\02 - DWG\PlanSheets\C4-01 ENLARGED SITE PLAN.dwg
Drawing Name: E:\Projects\016914000 - Mercy Housing Clemson\02 - DWG\PlanSheets\C4-01 ENLARGED SITE PLAN.dwg
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SITE LEGEND

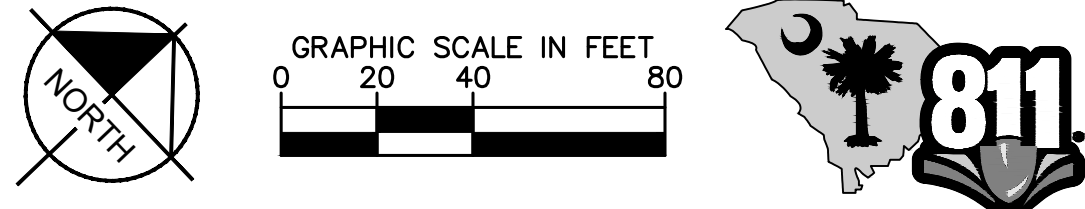
	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE
	COMPACT VEHICLE PARKING

ENVIRONMENTAL LEGEND

	STREAM TOP OF BANK
	STREAM/WETLAND BUFFER
	100 YEAR FLOODPLAIN
	WETLAND

DEVELOPMENT SUMMARY:

SITE SUMMARY:	
TMS:	4054-11-65-6587, 4054-11-65-7410, 4054-11-65-8807, 4054-11-75-1713, 4054-11-75-2837, 4054-11-75-1929, 4054-11-66-9099
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PROPOSED LAND USES & DENSITIES:	
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2 BEDROOM	100 UNITS
3 BEDROOM	34 UNITS
OPEN SPACE:	
MINIMUM REQUIRED OPEN SPACE:	2.92 ACRES (25% OF SITE AREA)
PROPOSED OPEN SPACE:	7.20 ACRES
PARKING SUMMARY:	
CITY OF CLEMSON	336 SPACES (TOTAL)
REQUIRED PARKING:	302 SPACES (TOTAL)
WITH 10% REDUCTION FROM CLEMSON:	
1 BEDROOM	SPACES (1/UNIT)
2 BEDROOM	SPACES (2/UNIT)
3 BEDROOM	SPACES (3/UNIT)
SC HOUSING REQUIRED PARKING:	252 SPACES (TOTAL)
1 BEDROOM	SPACES (1/UNIT)
2 BEDROOM	SPACES (1.5/UNIT)
3 BEDROOM	SPACES (2/UNIT)
PROPOSED PARKING:	
STANDARD	302 SPACES (TOTAL)
COMPACT (25%)	73 SPACES
ADA	12 SPACES



PROJECT: MERCY HOUSING CLEMSON

CITY OF CLEMSON

TITLE: ENLARGED SITE PLAN

DATE: 06/23/2025

PROJECT NO.: 016914000

SHEET NUMBER: C4-01

CLIENT: MERCY HOUSING CLEMSON

1600 BROADWAY, SUITE 2000

DENVER, CO 80202

SCALE: AS SHOWN

DRAWN BY: MCM

DESIGNED BY: A/J

CHECKED BY: SAH

Kimley»Horn

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550 S. MAIN STREET, SUITE 300,
GREENVILLE, SC 29601
PHONE (704) 333-5131
WWW.KIMLEY-HORN.COM

SOUTH CAROLINA
KIMLEY-HORN AND ASSOCIATES, INC.
No. C00166
REGISTERED PROFESSIONAL ENGINEER
UNDER THE SEAL OF THE STATE OF SOUTH CAROLINA













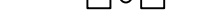
No. REVISIONS


DATE





BY

PRELIMINARY: NOT FOR CONSTRUCTION

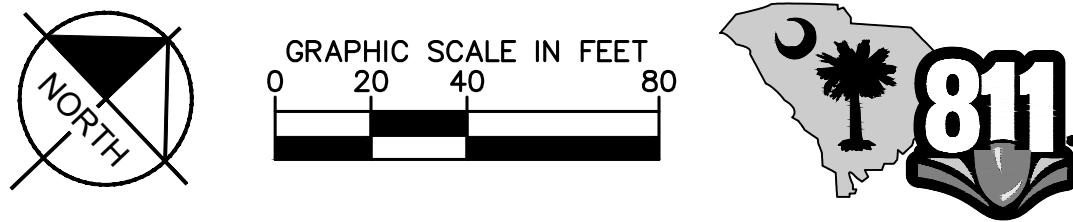


	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP



	STREAM TOP OF BANK
	STREAM/WETLAND BUFFER
	100 YEAR FLOODPLAIN
	WETLAND

<u>SITE SUMMARY:</u>	
TMS:	4054-11-66-6567, 4054-11-65-7410, 4054-11-65-8807, 4054-11-75-1713, 4054-11-75-2857, 4054-11-75-1929, 4054-11-66-9099
ZONING:	RM-4
SITE AREA:	11.67 ACRES
TOTAL DISTURBED AREA:	11.67 ACRES
BUILDING HEIGHT MAXIMUM:	40 FT
BUILDING SETBACK:	
FRONT:	20 FT
SIDE:	15 FT
REAR:	25 FT
LANDSCAPE SETBACK:	
ADJACENT TO PD OR CD ZONING:	15 FT
ADJACENT TO RM ZONING:	10 FT
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MINIMUM REQUIRED OPEN SPACE:	2.92 ACRES (25% OF SITE AREA)
PROPOSED OPEN SPACE:	7.20 ACRES
<u>PARKING SUMMARY:</u>	
CITY OF CLEMON	
REQUIRED PARKING:	336 SPACES (TOTAL)
WITH 10% REDUCTION FROM CLEMON:	302 SPACES (TOTAL)
1 BEDROOM	SPACES (1/UNIT)
2 BEDROOM	SPACES (2/UNIT)
3 BEDROOM	SPACES (3/UNIT)
<u>SC HOUSING REQUIRED PARKING:</u>	
1 BEDROOM	252 SPACES (TOTAL)
2 BEDROOM	SPACES (1/UNIT)
3 BEDROOM	SPACES (1.5/UNIT)
	SPACES (2/UNIT)
<u>PROPOSED PARKING:</u>	
STANDARD	217 SPACES
COMPACT (25%)	79 SPACES
ADA	12 SPACES



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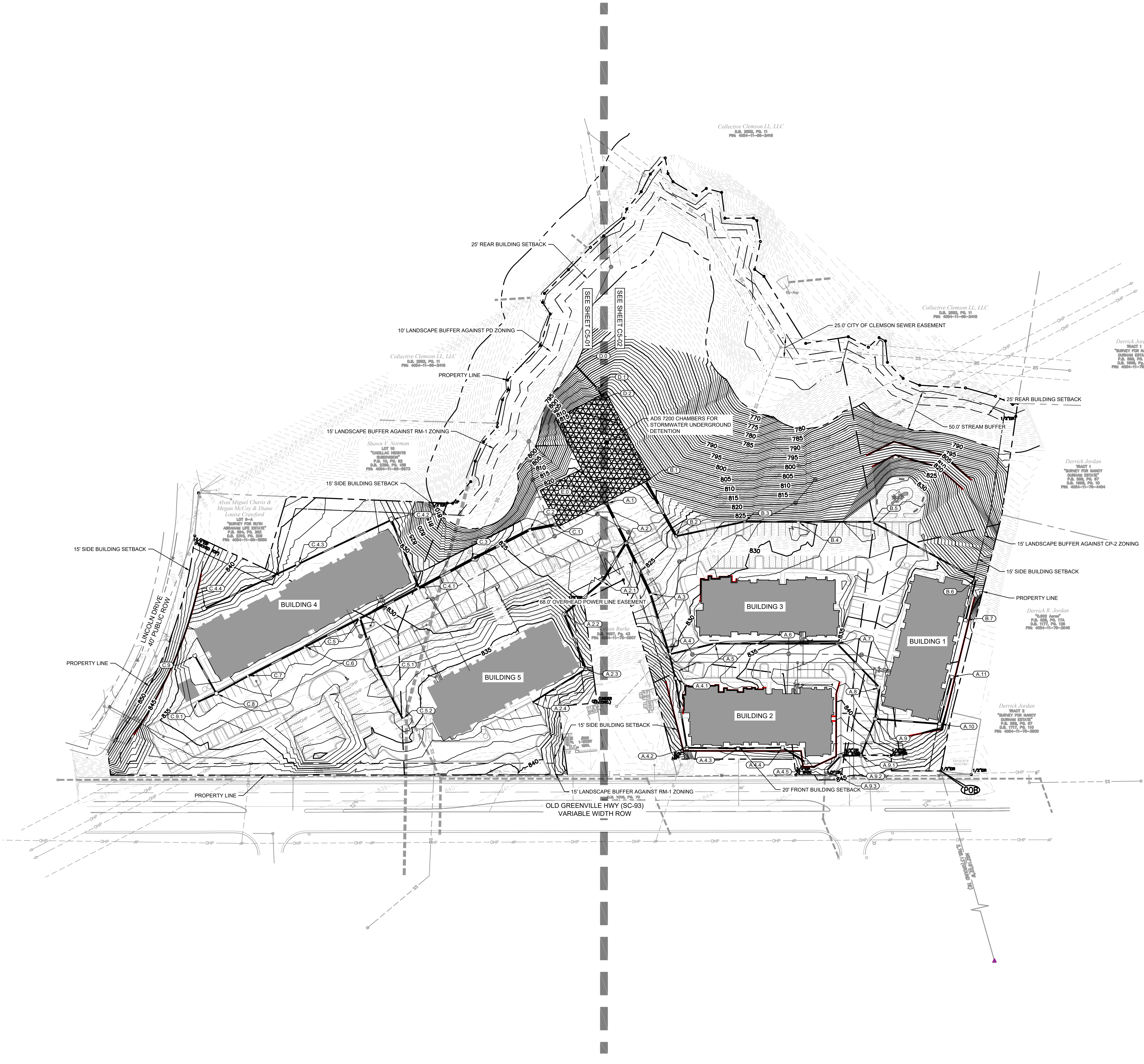
SCALE:	AS SHOWN
DRAWN BY:	MCM
DESIGNED BY:	AJF
CHECKED BY:	SAH

NT: **MERCY
HOUSING**
1600 BROADWAY, SUITE 2000
DENVER, CO 80202

PROJECT: **MERCY HOUSING CLEMSON** SC
CITY OF CLEMSON
TITLE: **ENLARGED SITE PLAN**

DATE	06/23/2025
PROJECT NO.	016914000
SHEET NUMBER	C4-02

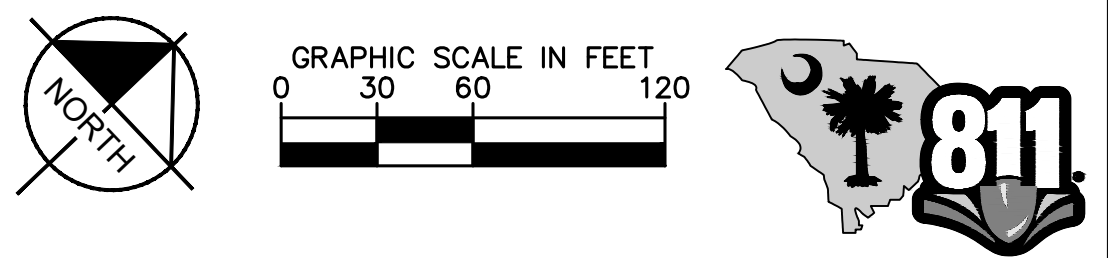
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Grading and Drainage Legend	
	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
	CLEARING LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)
	TOP OF PAVEMENT (GRADE ELEV.)
	TOP OF CURB (GRADE ELEV.)
	FLUSH CURB (GRADE ELEV.)
	WATER TIGHT JOINTS (WT)

- FINE GRADING NOTES**
1. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
 2. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
 3. ADA PARKING AREAS AND ACCESSIBLE LOADING AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
 4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
 5. THE PURPOSE OF THIS PLAN IS TO CONVEY DESIGN INTENT. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SLOPES TO ENSURE POSITIVE DRAINAGE IN THE FIELD AND IS RESPONSIBLE FOR ALL COORDINATION WITH THE CITY OF SENECA AND SCDOT INSPECTORS.
 6. CONTRACTOR TO ENSURE A SMOOTH GRADE IS MAINTAINED ALONG ALL NEW CURB AND GUTTER AND SHALL ENSURE POSITIVE DRAINAGE ACROSS ALL PAVED AREAS.

TOTAL EARTHWORK:
CUT: 31,000 CY
FILL: 31,000 CY
NET: 0 CY (BALANCED)



PROJECT: MERCY HOUSING CLEMSON		CITY OF CLEMSON		SC	
TITLE: OVERALL GRADING AND DRAINAGE PLAN		DATE: 06/23/2025		PROJECT NO. 016914000	
SHEET NUMBER		C5-00		DATE	
BY		DATE		BY	
No. REVISIONS		DATE		BY	
PRELIMINARY: NOT FOR CONSTRUCTION					

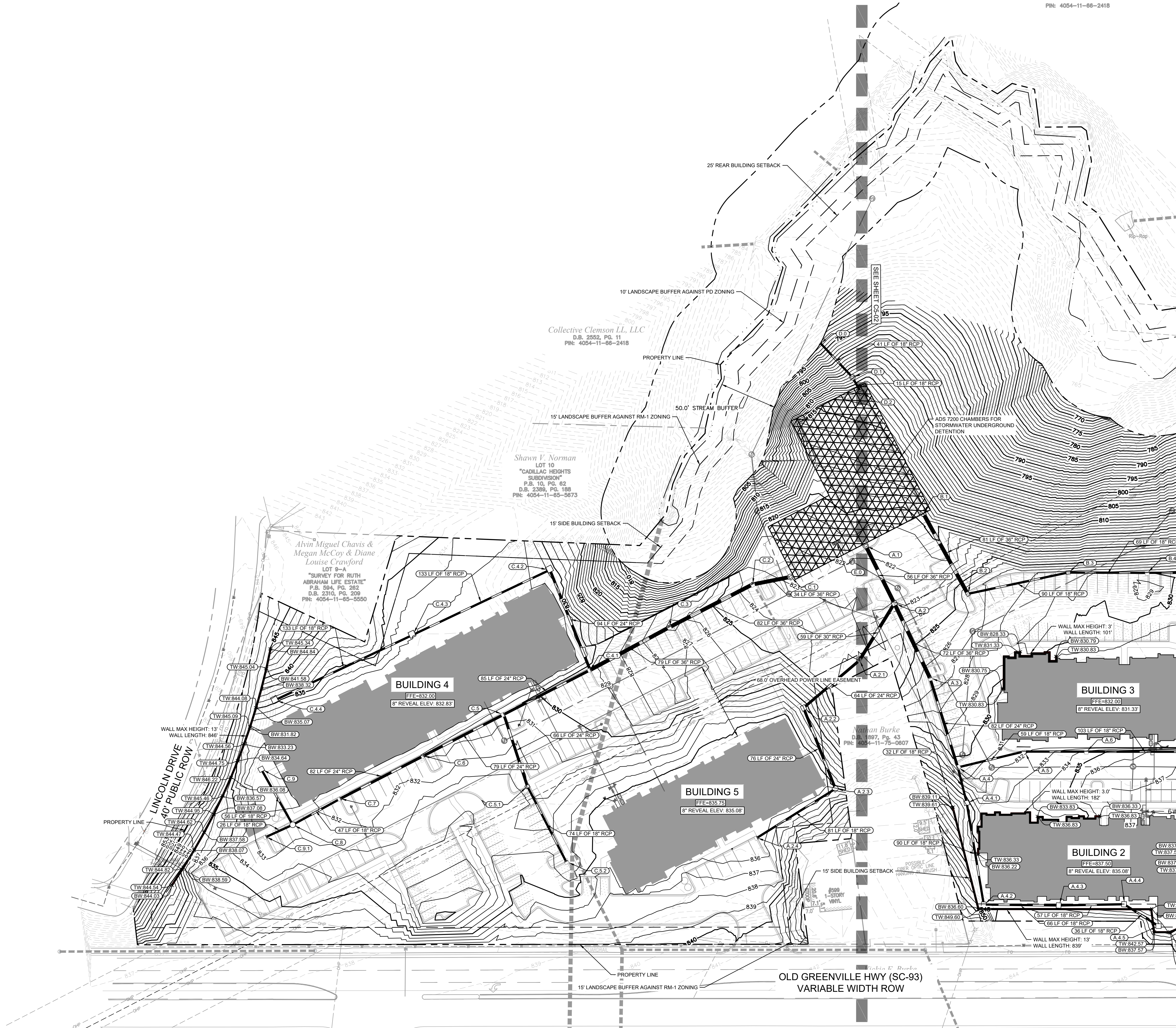
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




SOUTH CAROLINA
KIMLEY-HORN AND ASSOCIATES, INC.
No. 000166
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE 12/31/2026
UNDER THE STATE OF SOUTH CAROLINA

SCALE: AS SHOWN
DRAWN BY: MCM
DESIGNED BY: AJF
CHECKED BY: SAH

CLIENT: MERCY HOUSING CLEMSON
1600 BROADWAY, SUITE 2000
DENVER, CO 80202



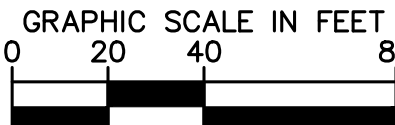
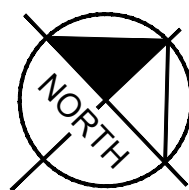
GRADING AND DRAINAGE LEGEND

	PROPERTY LINE
 -TCE	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
 -RD	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
 -CL	CLEARING LIMITS
 -805	EXISTING CONTOUR
 -805	PROPOSED CONTOUR
 826.00	SPOT ELEVATION
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
TW	TOP OF WALL (GRADE ELEV.)
BW	BOTTOM OF WALL (GRADE ELEV.)
TP	TOP OF PAVEMENT (GRADE ELEV.)
TC	TOP OF CURB (GRADE ELEV.)
TC/TP	FLUSH CURB (GRADE ELEV.)
WT	WATER TIGHT JOINTS (WT)

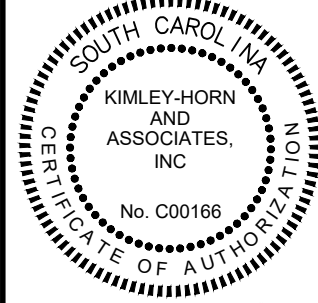
FINE GRADING NOTES

1. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
2. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
3. ADD PARKING AREAS AND ACCESSIBLE LOADING AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
5. THE PURPOSE OF THIS PLAN IS TO CONVEY DESIGN INTENT. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SLOPES TO ENSURE POSITIVE DRAINAGE IN THE FIELD AND IS RESPONSIBLE FOR ALL COORDINATION WITH THE CITY OF SENECA AND SCDOT INSPECTORS.
6. CONTRACTOR TO ENSURE A SMOOTH GRADE IS MAINTAINED ALONG ALL NEW CURB AND GUTTER AND SHALL ENSURE POSITIVE DRAINAGE ACROSS ALL PAVED AREAS.

TOTAL EARTHWORK:
CUT: 31,000 CY
FILL: 31,000 CY
NET: 0 CY (BALANCED)



Kimley»Horn



SCALE:	AS SHOWN
DRAWN BY:	MCM
DESIGNED BY:	AJF
CHECKED BY:	SAH

NT: **MERCY
HOUSING**
1600 BROADWAY, SUITE 2000
DENVER, CO 80202

PROJECT: MERCY HOUSING CLEMSON
CITY OF CLEMSON SC
TITLE: ENLARGED GRADING AND

DATE	06/23/2025
PROJECT NO.	016914000
SHEET NUMBER	C5-01

PRELIMINARY: NOT FOR CONSTRUCTION

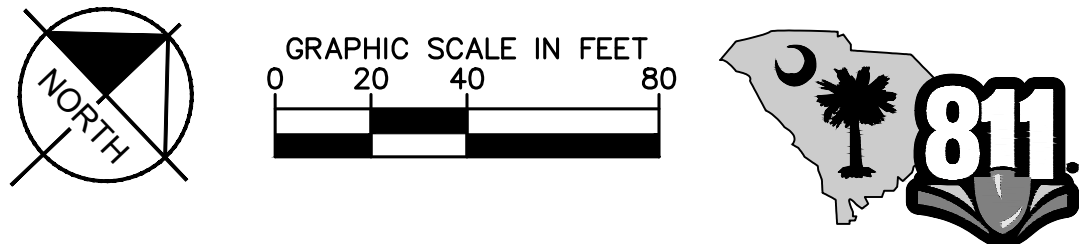
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Drawing Name: K:\SPE-DIA\016914000 - Mercy Housing, Clemson\02 - DWG\PlanSheets\C5-02 ENLARGED GRADING AND DRAINAGE PLAN.dwg
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GRADING AND DRAINAGE LEGEND	
	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
	CLEARING LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
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	CATCH BASIN (CB)
	MANHOLE (SDMH)
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	AREA DRAIN (AD)
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	CONCRETE HEADWALL (HW)
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	TOP OF WALL (GRADE ELEV.)
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	WATER TIGHT JOINTS (WT)

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TOTAL EARTHWORK:
CUT: 31,000 CY
FILL: 31,000 CY
NET: 0 CY (BALANCED)

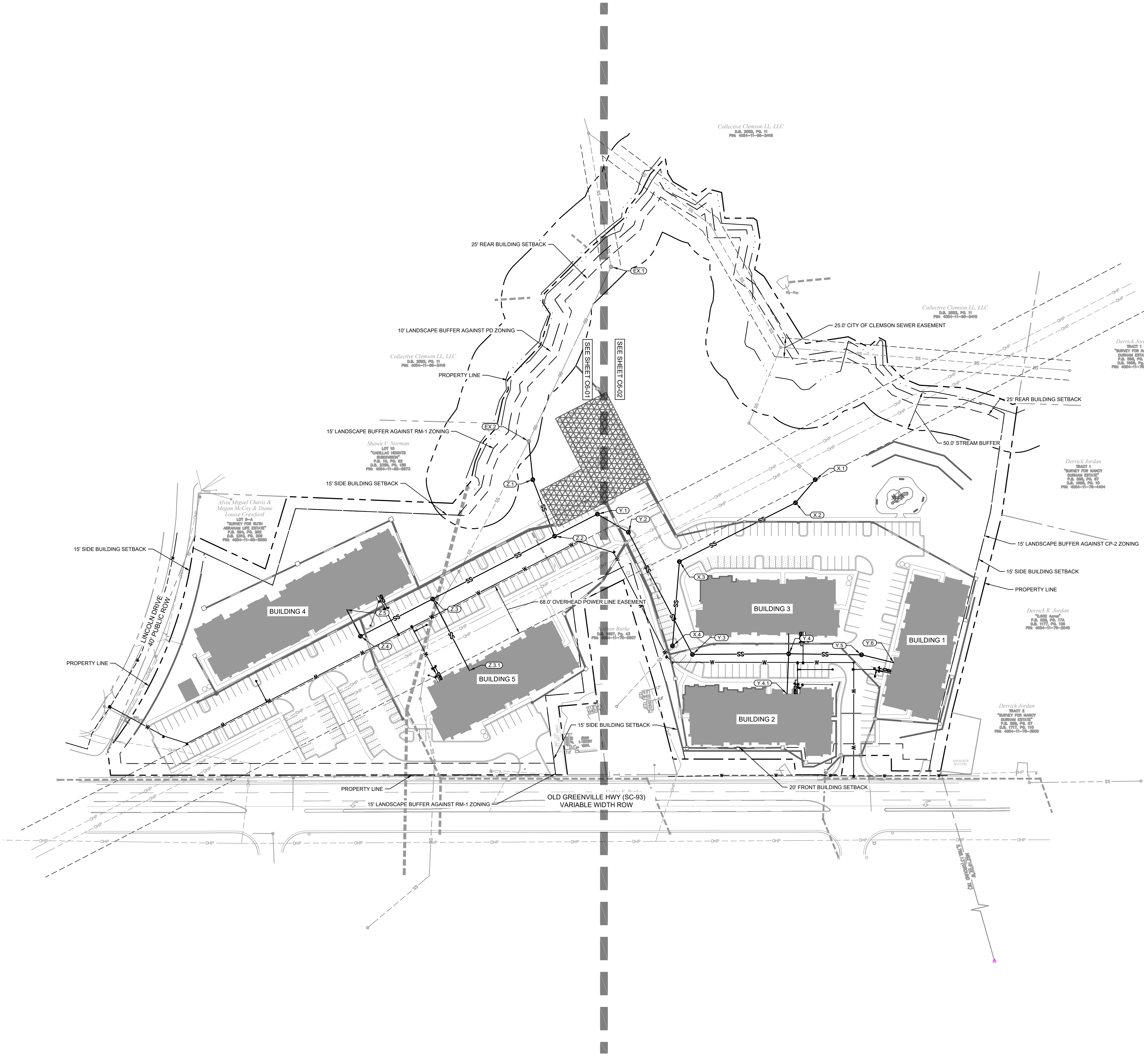


PROJECT: MERCY HOUSING CLEMSON		CITY OF CLEMSON		DATE: 06/23/2025	
TITLE: ENLARGED GRADING AND DRAINAGE PLAN		SC		PROJECT NO. 016914000	
SHEET NUMBER		C5-02		BY: DATE	
No. REVISIONS		No. REVISIONS		BY: DATE	
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SCALE: AS SHOWN		DRAWN BY: MCM		DESIGNED BY: A/J	
CLIENT: MERCY HOUSING		SAH		CHECKED BY:	
PROJECT: MERCY HOUSING CLEMSON		SC		DATE: 06/23/2025	
TITLE: ENLARGED GRADING AND DRAINAGE PLAN		CITY OF CLEMSON		PROJECT NO. 016914000	
SHEET NUMBER		C5-02		BY: DATE	

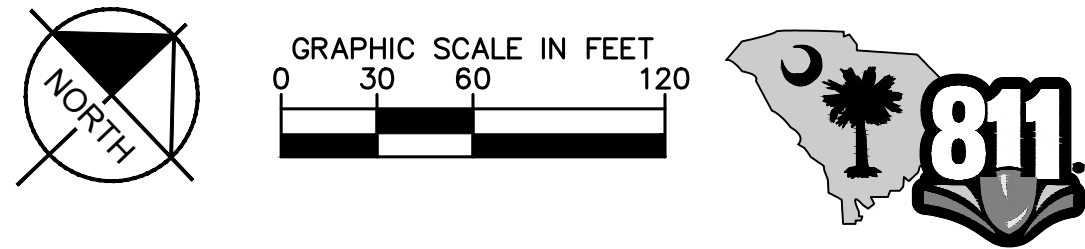
PRELIMINARY: NOT FOR CONSTRUCTION

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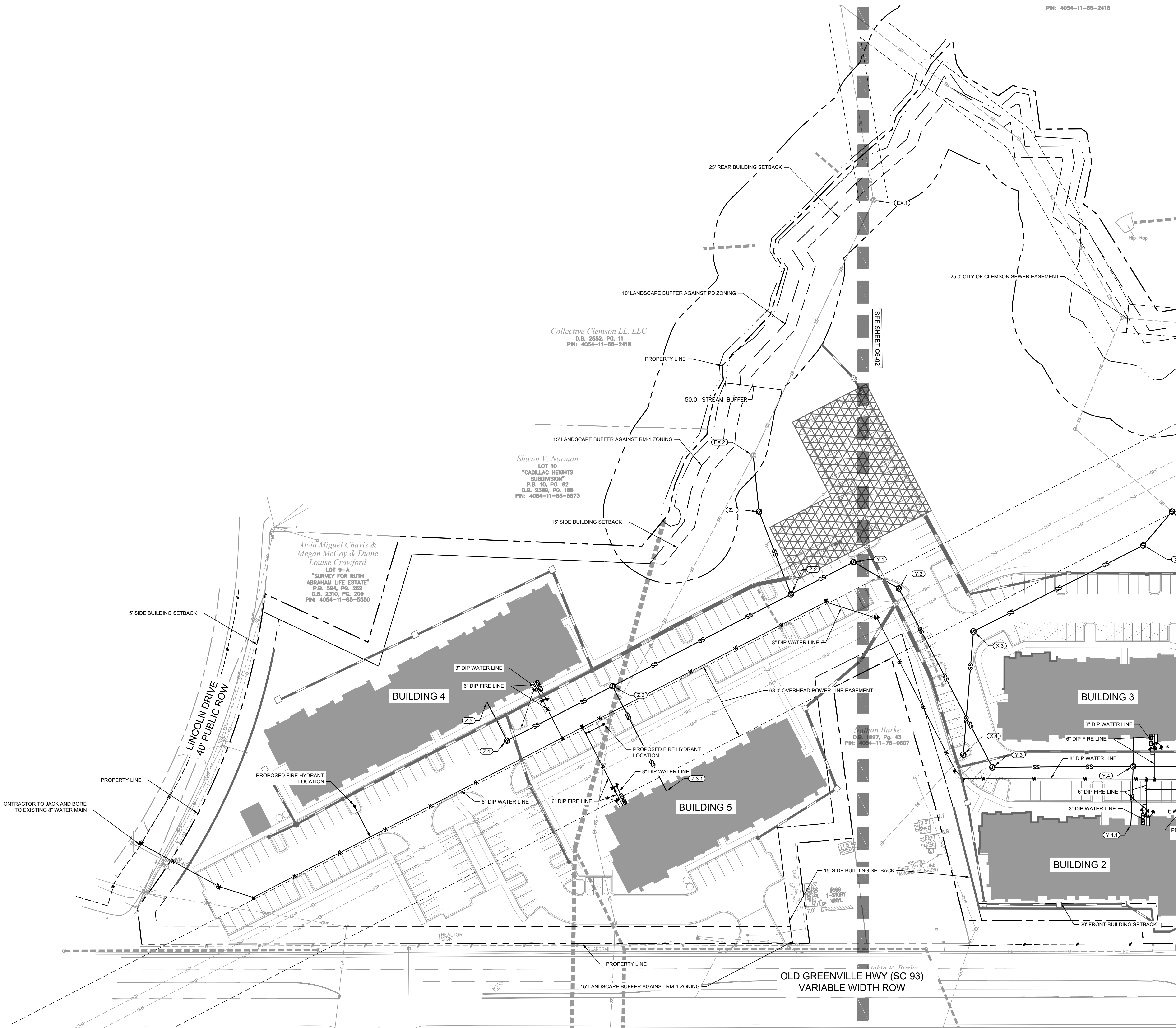
UTILITY LEGEND	
	PROPERTY LINE
	WATER LINE
	FIRE LINE
	SANITARY SEWER LINE
	ELECTRIC
	FIBER OPTIC
	GAS
	POWER
	TELECOMMUNICATION
	CABLE
	LIGHT POLE
	WATER METER
	GATE VALVE
	POINT OF CONNECTION
	BACKFLOW PREVENTOR
	PIPE TEE/BENDS
	REDUCER
	FIRE HYDRANT (FH)
	FIRE DEPARTMENT CONNECTION (FDC)
	SANITARY SEWER CLEANOUT (SSCO)
	SANITARY SEWER MANHOLE (SSMH)
	SANITARY SEWER GREASE TRAP



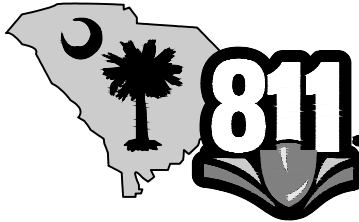
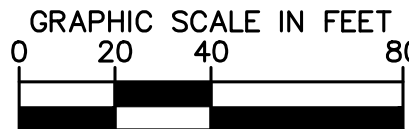
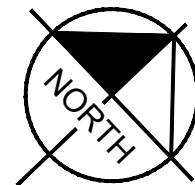
PROJECT: MERCY HOUSING CLEMSON		CLIENT: MERCY HOUSING		DATE: 06/23/2025	
CITY OF CLEMSON		1600 BROADWAY, SUITE 2000		PROJECT NO. 016914000	
TITLE: OVERALL UTILITY PLAN		DENVER, CO 80202		SHEET NUMBER	
SC		SAH		C6-00	
No. REVISIONS		Kimley-Horn		DATE	
BY		© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 550 S. MAIN STREET, SUITE 300, GREENVILLE, SC 29601 PHONE (704) 333-5131 WWW.KIMLEY-HORN.COM		BY	

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UTILITY LEGEND	
_____	PROPERTY LINE
_____W_____	WATER LINE
_____FW_____	FIRE LINE
_____SS_____	SANITARY SEWER LINE
_____E_____	ELECTRIC
_____FO_____	FIBER OPTIC
_____G_____	GAS
_____P_____	POWER
_____T_____	TELECOMMUNICATION
_____TV_____	CABLE
○ □ □ ○ □	LIGHT POLE
Ⓜ	WATER METER
⌞ ⌞	GATE VALVE
E S	POINT OF CONNECTION
▬ ▬ ▬ ▬	BACKFLOW PREVENTOR
└┐ └┐ └┐ └┐	PIPE TEE/BENDS
▶	REDUCER
⦿	FIRE HYDRANT (FH)
└┐ └┐	FIRE DEPARTMENT CONNECTION (FDC)
●	SANITARY SEWER CLEANOUT (SSCO)
Ⓢ	SANITARY SEWER MANHOLE (SSMH)
Ⓢ	SANITARY SEWER GREASE TRAP
















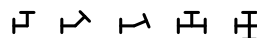








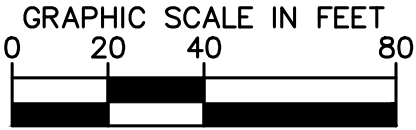
PROJECT: MERCY HOUSING CLEMSON		DATE 06/23/2025		PROJECT NO. 016914000		SHEET NUMBER C6-01	
CITY OF CLEMSON		SC		TITLE: ENLARGED UTILITY PLAN			
CLIENT: MERCY HOUSING 1600 BROADWAY, SUITE 2000 DENVER, CO 80202				SCALE: AS SHOWN			
				DRAWN BY: MCM			
				DESIGNED BY: A.J.F.			
				CHECKED BY:			
				SAH			
				No. REVISIONS		DATE	

PRELIMINARY: NOT FOR CONSTRUCTION

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc., shall be without liability to Kimley-Horn and Associates, Inc.



	PROPERTY LINE
	WATER LINE
	FIRE LINE
	SANITARY SEWER LINE
	ELECTRIC
	FIBER OPTIC
	GAS
	POWER
	TELECOMMUNICATION
	CABLE
	LIGHT POLE
	WATER METER
	GATE VALVE
	POINT OF CONNECTION
	BACKFLOW PREVENTOR
	PIPE TEE/BENDS
	REDUCER
	FIRE HYDRANT (FH)
	FIRE DEPARTMENT CONNECTION (FDC)
	SANITARY SEWER CLEANOUT (SSCO)
	SANITARY SEWER MANHOLE (SSMH)
	SANITARY SEWER GREASE TRAP



C6-02	SHEET NUMBER							
	PROJECT NO.	06/23/2025						
	DATE							
	TITLE:	CITY OF CLEMSON SC						
	PROJECT:	MERCY HOUSING CLEMSON						
	CLIENT:	MERCY HOUSING 1800 BROADWAY, SUITE 2000 DENVER, CO 80202						
SCALE:		AS SHOWN	 		Kimley»Horn © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 5550 S MAIN STREET, SUITE 3300 GREENVILLE, SC 29601 PHONE (704) 333-5131 WWW.KIMLEY-HORN.COM			
DRAWN BY:	MCM	DESIGNED BY:		AJF	REVISIONS No. DATE BY			
CHECKED	SAH	B.H.						

PRELIMINARY: NOT FOR CONSTRUCTION

SITE AMENITY REQUIREMENTS

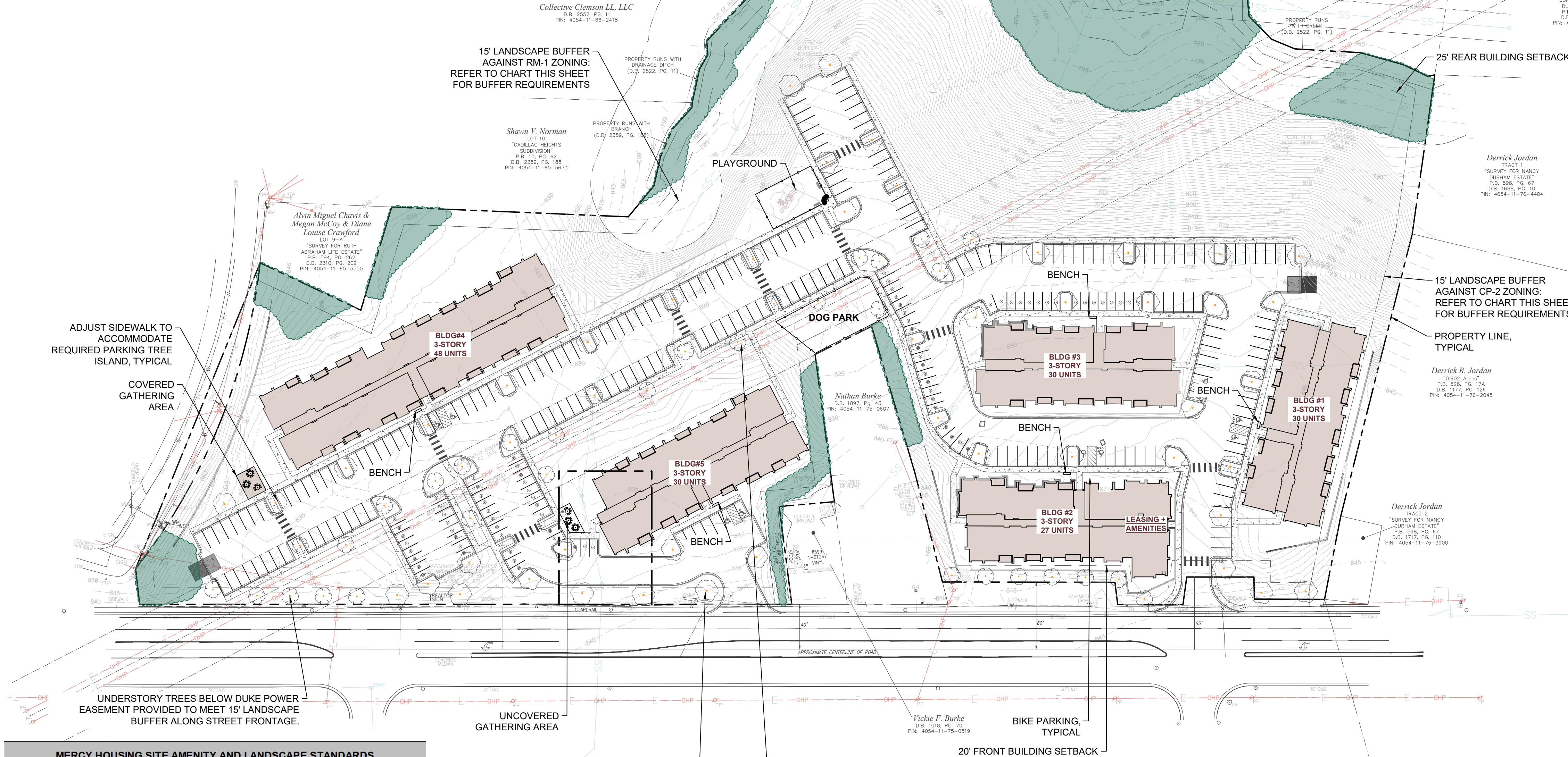
CITY OF CLEMSON BIKE PARKING REQUIREMENTS:

3. For all townhouse, multi-family, patio or zero lot line developments with shared parking, bicycle parking shall be provided at a rate of at least one bicycle parking space per every four dwelling units and shall be spaced throughout the development to ensure equal access to all users.

168 UNITS / 4 BIKE SPACES = 42 BIKE SPACES REQUIRED
27 BIKE RACKS x 2 BIKES = 54 BIKE SPACES PROVIDED

SOUTH CAROLINA HOUSING SITE AMENITY REQUIREMENT:

- f. Playground (Family developments only)
- Equipment must be of commercial design and quality.
 - All playgrounds must each contain at least four play stations/activities.
 - Playground must be located away from areas of frequent automobile traffic and situated such that the play area is visible from the office and maximum number of residential units.
 - Playground must be accessible to persons with mobility impairments.
 - A bench that is weather resistant, metal or composite, have a back, and be anchored permanently.



MERCY HOUSING SITE AMENITY AND LANDSCAPE STANDARDS	
Exterior Amenities	Provide secured and covered long-term bicycle parking for a minimum of one space for every two dwelling units or as required by code.
Exterior Amenities	For Family properties, provide a playground appropriate to space allowed.
Exterior Amenities	Outdoor resident gathering spaces and play areas should be designed to allow maximum use within the local climate; e.g. consider shading in hot, sunny areas and shielding from rain in wet climates.
Exterior Amenities	Outdoor furniture should be durable and attractive and include ADA accessible options.
Exterior Amenities	Patios and other outdoor spaces should be designed as social gathering spaces, with flexible and comfortable seating.
Exterior Amenities	Provide pet relief areas away from other outdoor amenities and unit entries / operable windows, where applicable.
Exterior Amenities	Storage for outdoor furniture in climates that get snow.
Landscaping	All landscaping should be attractive but low-maintenance.
Landscaping	Prioritize native and drought tolerant plants.
Landscaping	Avoid invasive species, vines or other plants that become quickly overgrown, and plants/trees with fruit or flower that might attract pests.
Landscaping	Large planters should be low-maintenance with adequate drainage plan.
Landscaping	Avoid large rocks near windows that could be used to damage the glass. Rocks should either be large enough they cannot be lifted or secured to the ground with epoxy.
Landscaping	Include Netafirm irrigation systems in landscape plans.
Landscaping	Submitter irrigation where possible.



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Table 15-30.15 Minimum Canopy Coverage Requirements	
Land Use	Minimum Coverage (%)
Residential Developments (Excepting Simple Lot and Minor Subdivisions)	25 (*12.5%)
Planned Developments	30
*The Planning Commission may approve a reduction of up to fifty (50) percent of the minimum required area for affordable housing developments or Low Impact Development (or other certified 'green') projects.	

TOTAL SITE AREA: 508,885.2 SF
MINIMUM CANOPY COVERAGE: 12.5%

EXISTING CANOPY TO REMAIN: 70,947 SF (13.95%)
MINIMUM CANOPY COVERAGE MET WITH REMAINING EXISTING CANOPY COVERAGE.

g. Large, healthy specimen trees and significant tree stands on the site shall be identified prior to development and site plans shall show the location of trees and shrubs to be retained and the locations of protective fencing;

Table 19-908. - Landscape Materials Required within Bufferyards				
Buffer Type	Buffer Width	Number of Trees	Number of Shrubs	Plants and Structures required per 100 linear feet 1
A	10'	3 Upper story (Canopy) trees	20	Shrubs or: Continuous solid fence or a wall constructed of brick, masonry or stone (36" min. to 48" max. in height); or Continuous earthen berm (36" min. to 48" max. in height) with live ground cover
B	n/a	4 Upper story (Canopy) trees	30	Shrubs or: Continuous solid fence or a wall constructed of brick, masonry or stone (36" min. to 48" max. in height); or Continuous earthen berm (36" min. to 48" max. in height) with live ground cover
C	15'	4 Upper story (Canopy) trees	1	6 to 8 foot high wall or solid fence within 12 inches of property line; finished side facing adjacent property

E. Landscape materials meet the following size and specifications:

- Whenever new trees or shrubs are required by this ordinance, they shall meet the standards provided in Table 19-905 at the time of planting unless otherwise specified by an approved plan;

Table 19-905. Minimum Requirements for Plant Size and Specifications						
Type	Minimum Height at Maturity (ft)	Maximum Height at Maturity (ft)	Minimum Crown Spread at Maturity (ft)	Minimum Height at Planting (ft)	Minimum Caliper at Planting (inch)	Minimum Spacing (ft on center)
Upperstory tree	40'	none	30'	10'-12'	2"	30'
Understory tree	15'	30'	15'	8'	n/a	15'
Shrubs 13	none	none	none	n/a	n/a	24'

*1 Caliper shall be measured six inches above the ground.

*2 The minimum crown spread of trees shall only apply to upperstory trees.

*3 Shrubs should be 3 gal. in size and do not include ground covers.

- All shrubs shall be installed as to reach a minimum height of 36 inches within three years of installation; and shall comply with the Florida Standards for material quality.
- Whenever trees and shrubs are required for specific screening, the trees shall be of an evergreen type that retains their foliage to within six inches off the ground on a year-round basis and no more than 30 percent of shrubs planted throughout a planting area shall be deciduous.

G. Vehicular use area shall be designed to comply with the following:

- At least 10 percent of the total interior square footage of all vehicular use areas as designed and constructed shall be dedicated to landscaping and shall meet the following requirements:
 - All areas of the parking lot framed by the required buffer and adjacent buildings (where the perimeter buffer is not required) shall be used in calculating the required interior landscaped area, and the required interior landscaping shall be located within this area;
 - Each required interior landscaped area shall be at least 64 square feet in size with no dimension less than four feet; and
 - A pass-through for pedestrian access shall be placed at intervals not less than one every 100 feet across landscape strips between parking aisles. No reduction in required vegetation will be permitted to accommodate this access. All such pedestrian access areas shall be clearly shown and labeled on the landscape plan.
- Any vehicular use area shall require a minimum landscape buffer of eight feet in depth or a berm along the lineal boundary of all streets or alleys, and five feet along all other perimeters of the vehicular use area, except that the perimeter buffer shall not be required where it interferes with pedestrian access to a building for which the parking is provided or with loading, unloading, and utility areas.

H. Landscaping requirements associated with vehicular use areas shall comply with the following:

- There shall be sufficient upper story trees within and around the vehicular use area to ensure any portion of the vehicular use area is within 40 feet of a planted or retained tree trunk.
- The trees shall be located within the front or side street setbacks.
- The minimum landscape area for each tree shall be no less than 170 square feet, with four feet minimum distance between all trees and paving at time of planting, measured at the base of the tree.
- Shrubs within a landscape buffer abutting a street right-of-way or within a perimeter of the vehicular use area shall be arranged to form a continuous row, designed to be planted three feet on center and must occupy the buffer for which they were calculated.
- The shrubs shall be planted no farther than four feet from the vehicular use area.
- Shrubs must be located within the interior landscaped area for which they were calculated.
- The required shrubs shall be maintained at a height of approximately 36 inches.

J. The following additional plantings required for residential development:

- In addition to other landscaping requirements, one upperstory tree shall be required to be planted within the required open space for every three dwelling units in multi-family residential developments.

REVISIONS

NO.	DATE	ISSUE
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PROJECT NAME

MERCY HOUSING CLEMSON

PROJECT ADDRESS

602 OLD
GREENVILLE
HIGHWAY,
CLEMSON, SC

CITY OF CLEMSON

OWNER

MERCY
HOUSING

1600 BROADWAY,
SUITE 2000
DENVER, CO 80202

SHEET TITLE

LANDSCAPE AND SITE AMENITY PLAN

DATE 06/13/2025

PROJ. NO. 2025011

PROFESSIONAL SEAL

SHEET

L1.1

SCHEMATIC DESIGN
SUBMITTAL

Clemson Mercy Housing: Landscape Architecture Narrative

The scope of work for Landscape Architecture services includes landscaping and site amenities. The design will comply with the following standards: Mercy Housing standards, South Carolina housing standards, ADA regulations, and the City of Clemson landscape standards. A landscape and site amenity plan is provided to accompany the design narrative. The scope of work for the following site elements are described below.

- Playground
- Exterior Gathering Areas
- Dog Park
- Bike Parking (to be coordinated with the Civil Engineer)
- Landscaping

Scope of Work

Playground:

- The design includes an approximate 50' x 65' equipped playground area with ADA compliant playground surface. Include a 4' tall metal picket fence to keep kids away from the adjacent parking lot and 4 (5' long) benches around the playground as shown on the schematic design plan.
- South Carolina Housing Requirements:
 - Equipment must be of commercial design and quality.
 - All playgrounds must each contain at least four play stations/activities.
 - Playground must be located away from areas of frequent automobile traffic and situated such that the play area is visible from the office and maximum number of residential units.
 - Playground must be accessible to persons with mobility impairments.
 - A bench that is weather resistant, metal or composite, has a back, and be anchored permanently.
 - Surface conditions and materials must meet the following guidelines and standards:
 - ASTM F1951 (Specification for Determination of Accessibility of Surface Systems)
 - ASTM F1292 (Specification for Impact Determination)
 - ASTM F1487 (Standard Consumer Safety Performance Specification)
 - ASTM F2020 (Standard Specification for Engineered Wood Fiber.
 - ASTM F2479 (Specification Guide for Products and Installation of Poured-In-Place Surfaces)
- A letter from the playground floor material provider stating the material meets or exceeds the above ASTM requirements is required. A certificate from a third-party firm licensed to perform playground surface testing stating the installation of approved floor coverings was installed per manufacturer's requirements and that the finished floor surface(s) meet the above ASTM standards is also required.

Exterior Gathering Areas:

- The design includes a centrally located covered pavilion on a thickened concrete slab. 3 picnic tables including 1 ADA compliant table are proposed below the pavilion. The exterior

gathering area is proposed between the dog park and playground with accessible sidewalks connecting the amenity to adjacent buildings and facilities.

- Smaller non-covered seating areas are planned throughout the site. The seating areas will include 6' long benches and picnic tables secured to concrete pads depending on budget availability.
- Mercy Housing Gathering Area Requirements:
 - Outdoor resident gathering spaces and play areas should be designed to allow maximum use within the local climate; e.g. consider shading in hot, sunny areas and shielding from rain in wet climates.
 - Outdoor furniture should be durable and attractive and include ADA accessible options.
 - Patios and other outdoor spaces should be designed as social gathering spaces, with flexible and comfortable seating.

Dog Park:

- The design includes a 2700 square foot fenced and sodded dog park. The fence will be 5 feet tall, metal pickets, and run 215 linear feet in length with a double gate system.
- A bid alternate for artificial turf is desired for low maintenance and longevity.

Bike Parking:

- The design includes bike racks located in front of each building secured to a concrete pad. A covered structure will be required to meet Mercy Housing Standards.
- City of Clemson Bike Parking Requirements:
 - For all townhouse, multi-family, patio or zero lot line developments with shared parking, bicycle parking shall be provided at a rate of at least one bicycle parking space per every four dwelling units and shall be spaced throughout the development to ensure equal access to all users.
- Mercy Housing Bike Parking Requirements:
 - Provide secured and covered long-term bicycle parking for a minimum of one space for every two dwelling units or as required by code.

Landscaping:

- The design includes a tree and landscaping to meet City of Clemson and Mercy Housing requirements as listed on the schematic design plan. Trees will be 3" caliper and native. A combination of overstory and understory trees are proposed. Accent shrubs will be 15 gallon and placed at entrances and corners of building. Foundation shrubs will be 3 gallon. Groundcover will be 1 gallon and 4" pot and provided in landscape islands. 3" thick Shredded hardwood mulch will be provided in all landscape beds. Turf at focal areas will be sodded Bermuda Tiftuf. For all other disturbed areas, refer to erosion control plans.
- Mercy Housing Landscape Requirements:
 - All landscaping should be attractive but low-maintenance.
 - Prioritize native and drought tolerant plants.
 - Avoid invasive species, vines or other plants that become quickly overgrown, and plants/trees with fruit or flower that might attract pests.
 - Large planters should be low-maintenance with adequate drainage plan.
 - Avoid large rocks near windows that could be used to damage the glass. Rocks should either be large enough they cannot be lifted or secured to the ground with epoxy.
 - Include Netafirm irrigation systems in landscape plans.
 - Submeter irrigation where possible.